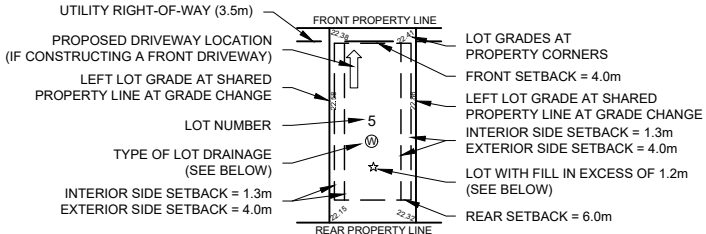
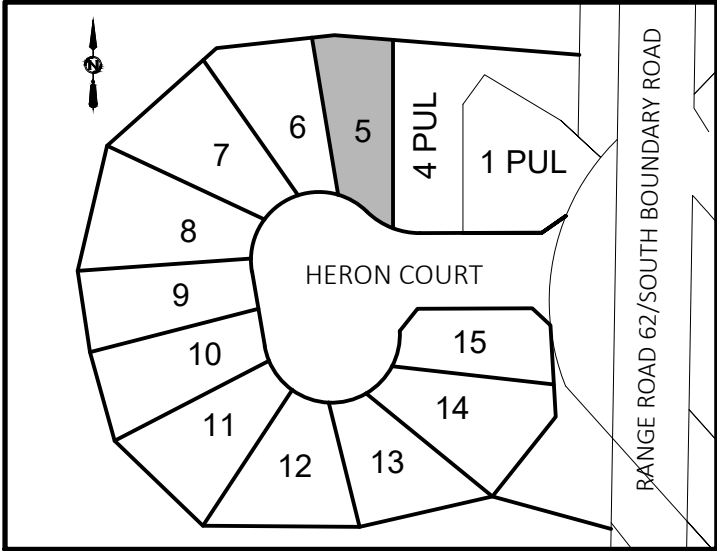


LANDMARK PROPERTIES

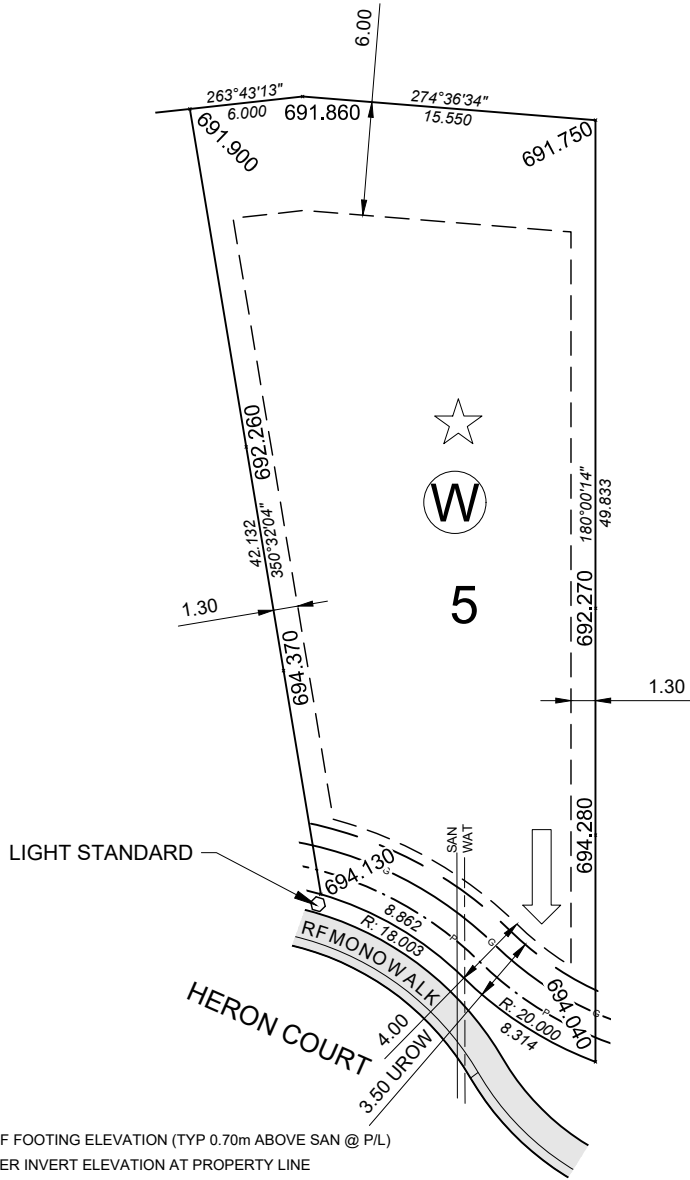
HERON CROSSING - PHASE 1 BLK 1, LOT 5



- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

★ LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

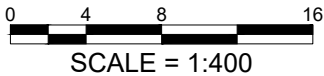
— P — POWER UTILITY
— G — GAS UTILITY

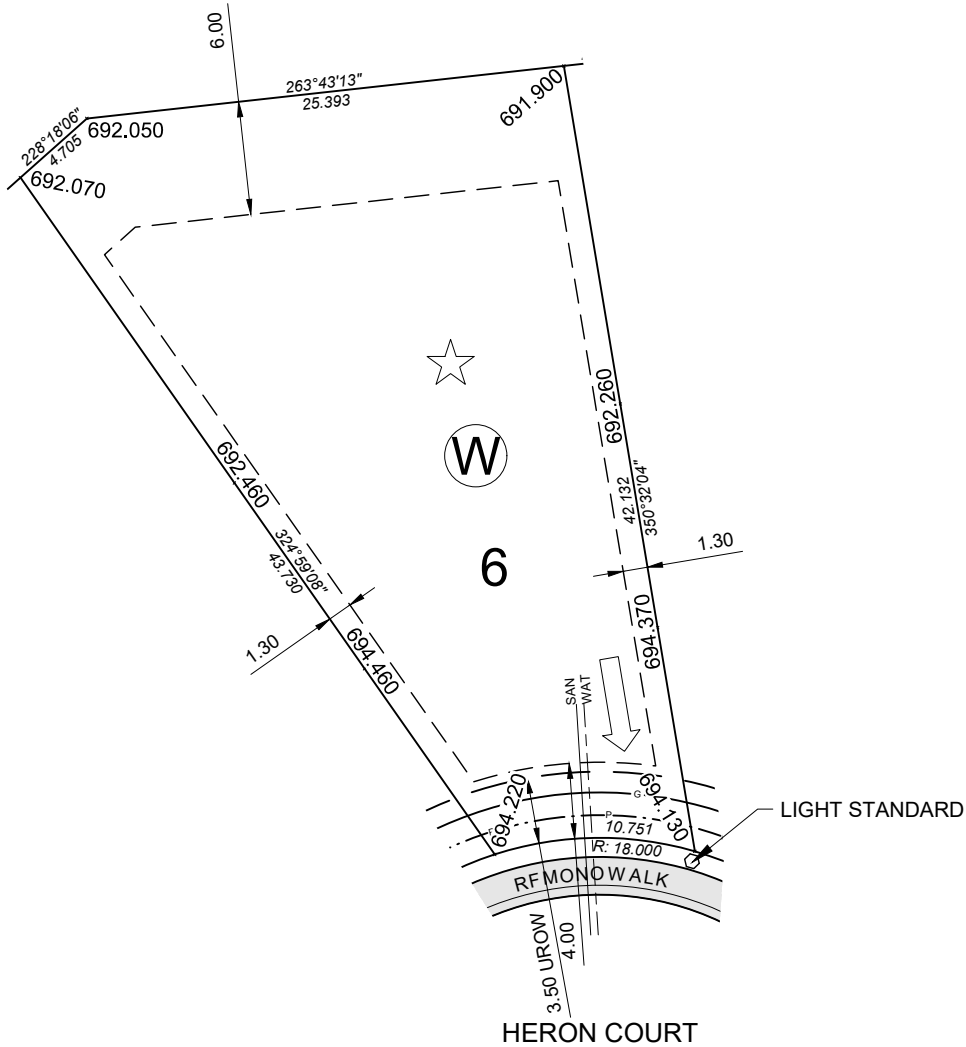


Lot 5	
LTF = 691.90	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.44*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.26	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 691.76	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.11	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

NOTES:

1. CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
 2. PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
 3. ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
 4. GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
 5. ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
 6. REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
 7. INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)

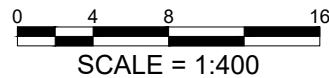




Lot 6	
LTF = 691.88	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 690.84*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.65	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 692.15	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.50	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

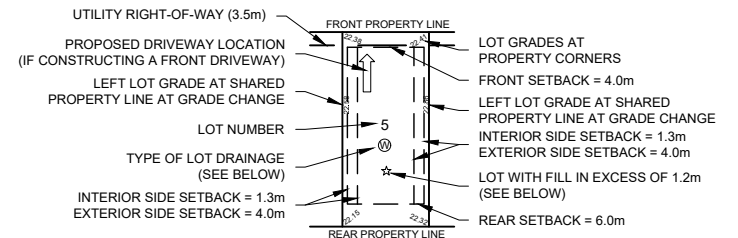
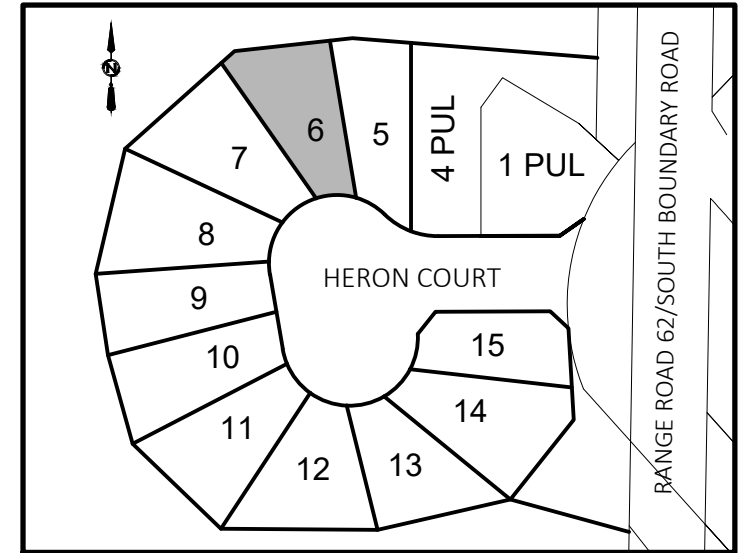
NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
 - PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
 - ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
 - GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
 - ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
 - REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
 - INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)



LANDMARK PROPERTIES

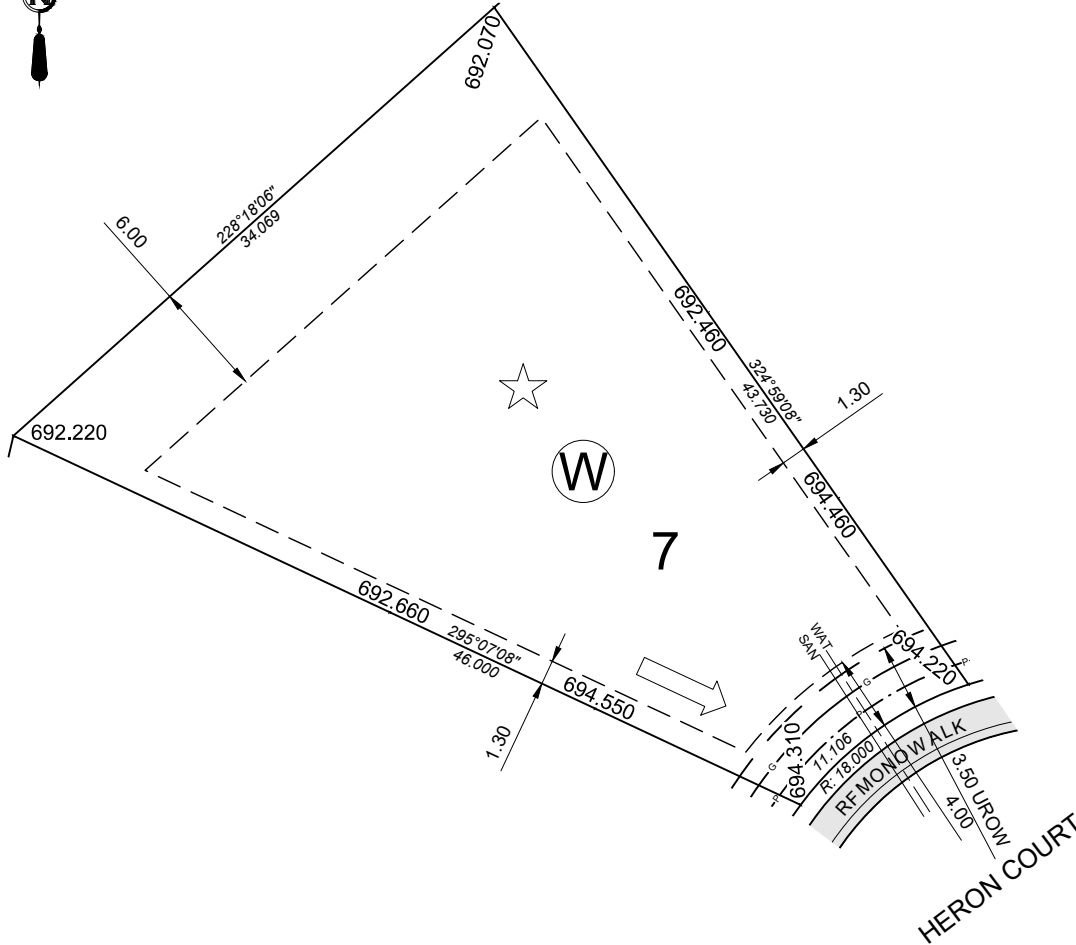
HERON CROSSING - PHASE 1 BLK 1, LOT 6



- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT (CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT (CAREFUL GRADING REQUIRED)

* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

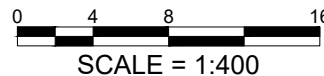
---P--- POWER UTILITY
---G--- GAS UTILITY



Lot 7	
LTF = 691.97	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.52*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.65	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 692.15	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.50	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

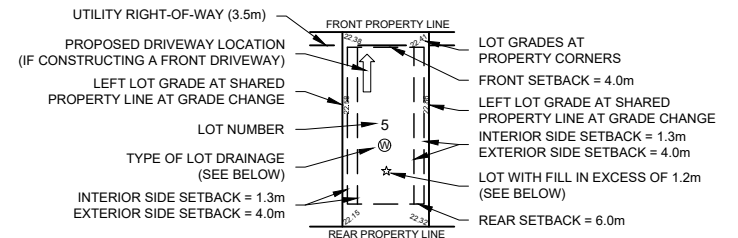
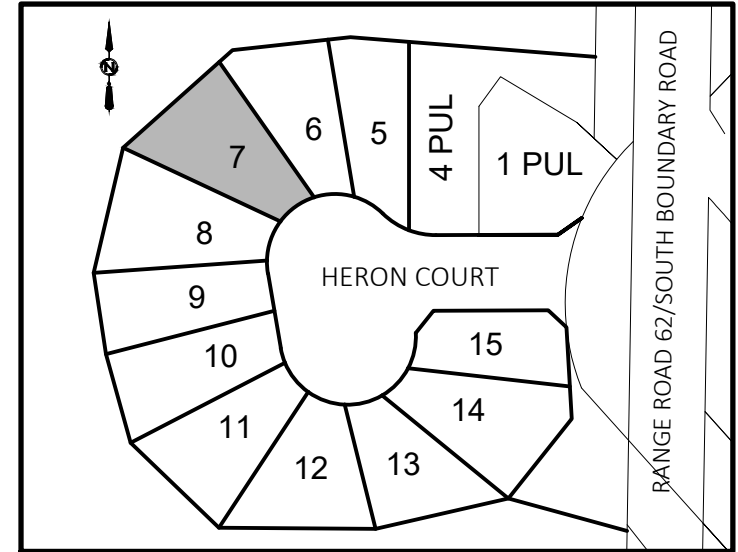
NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
- PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
- ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
- GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
- ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
- REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
- INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)



LANDMARK PROPERTIES

HERON CROSSING - PHASE 1 BLK 1, LOT 7



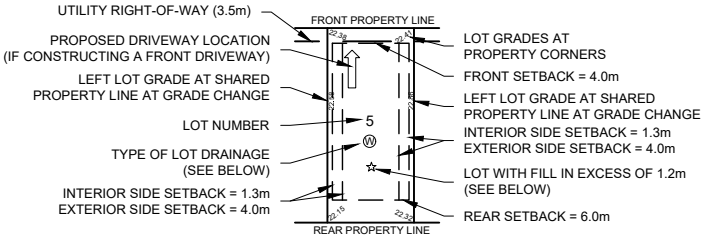
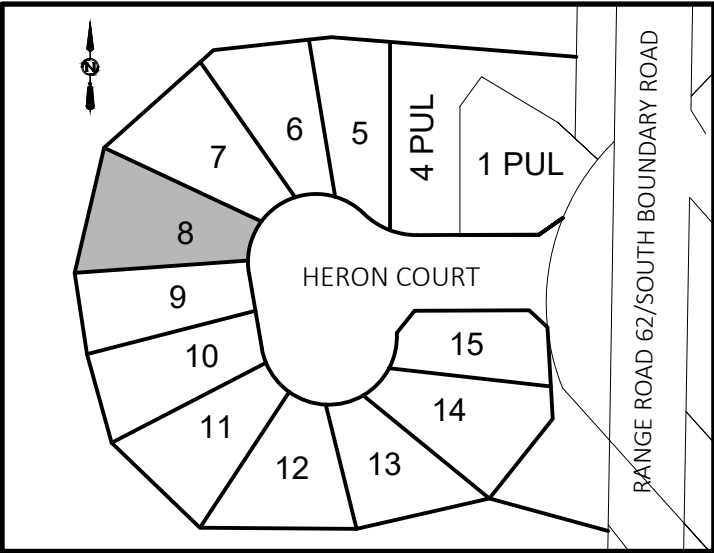
- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

---P--- POWER UTILITY
---G--- GAS UTILITY

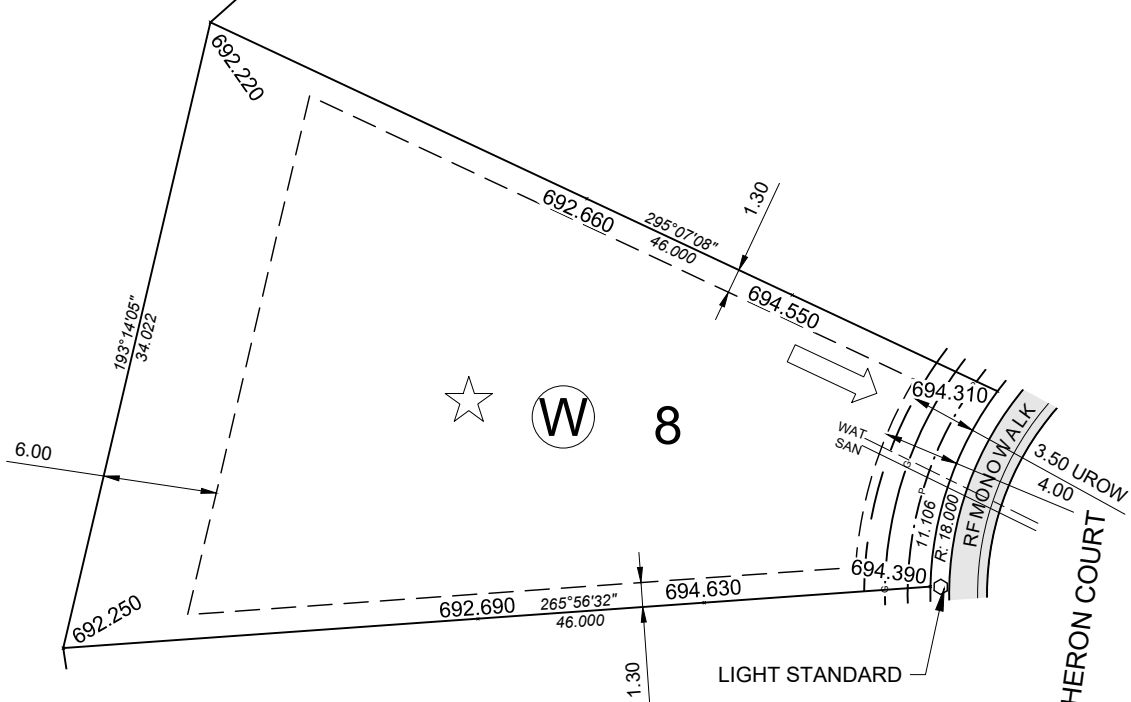
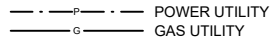
LANDMARK PROPERTIES

HERON CROSSING - PHASE 1 BLK 1, LOT 8



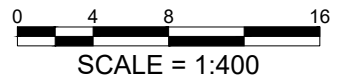
- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

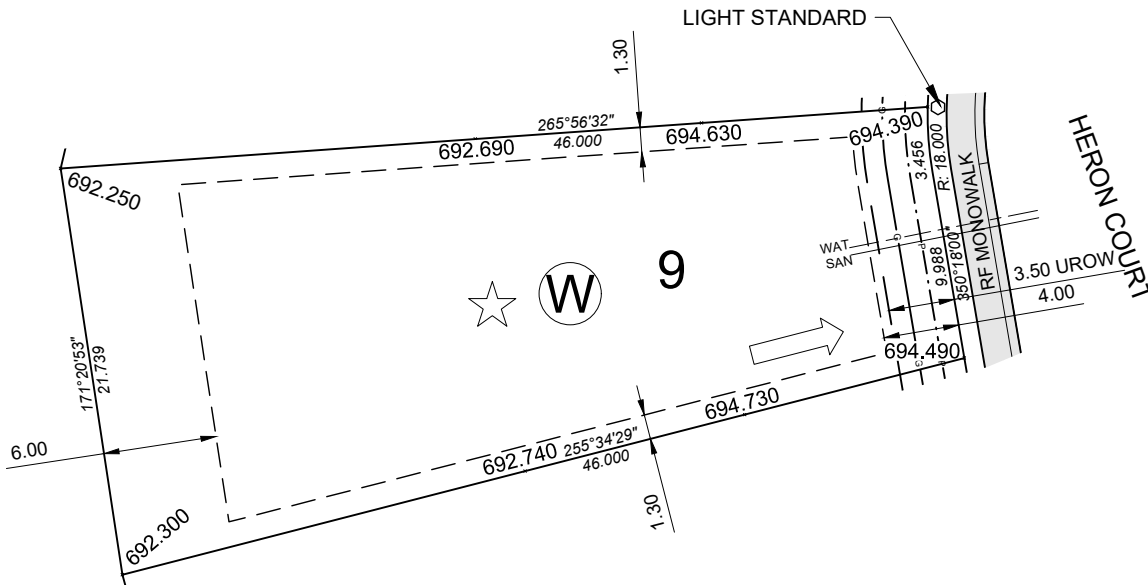
* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE



Lot 8	
LTF = 692.05	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.08*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 693.14	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 692.64	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.99	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

- NOTES:
- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
 - PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
 - ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
 - GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
 - ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
 - REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
 - INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
 - * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)

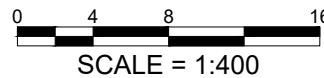




Lot 9	
LTF = 692.14	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.19*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.39	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 691.89	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.24	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

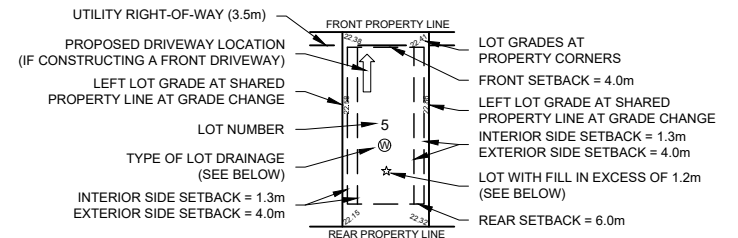
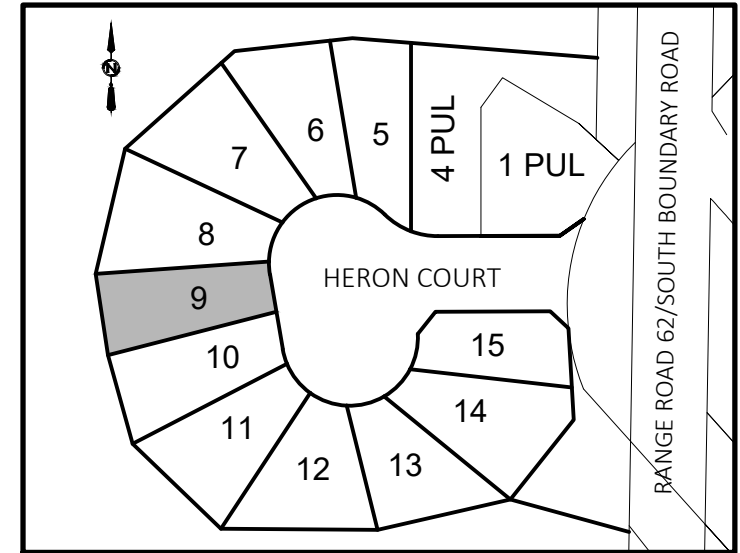
NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
- PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
- ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
- GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
- ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
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- INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)



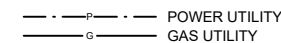
LANDMARK PROPERTIES

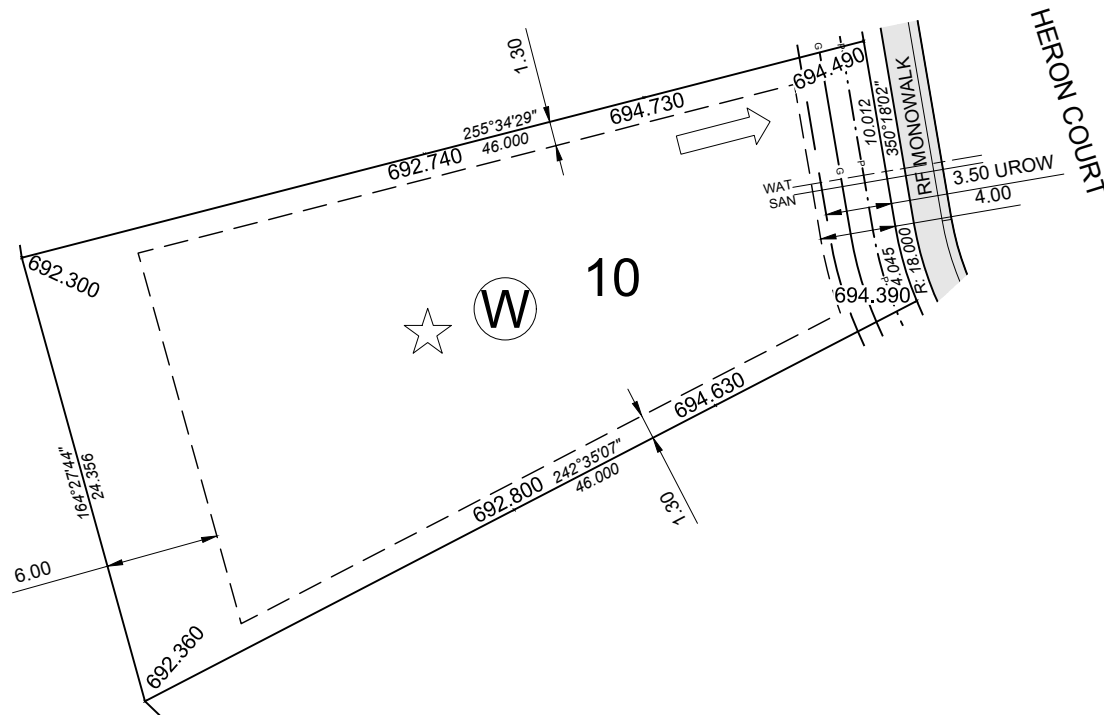
HERON CROSSING - PHASE 1 BLK 1, LOT 9



- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

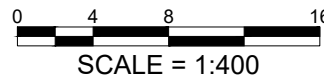




Lot 10	
LTF = 692.25	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.23*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.24	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 691.74	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.09	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

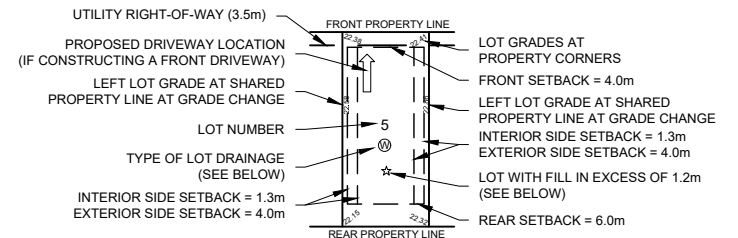
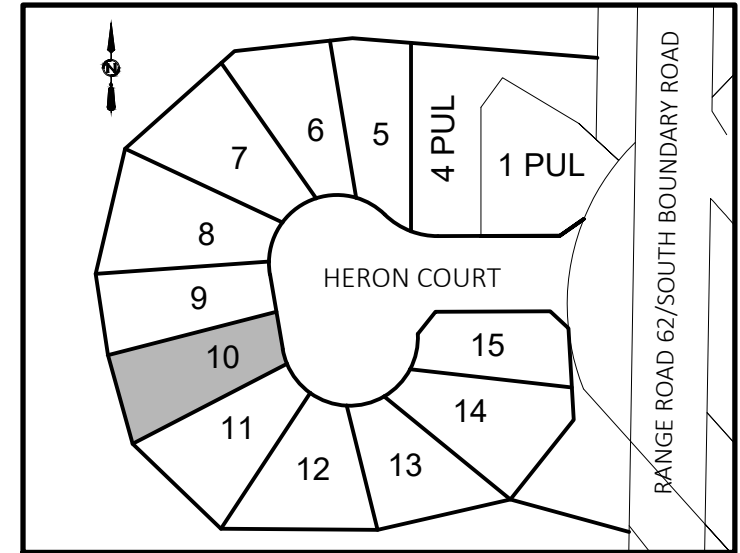
NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
 - PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
 - ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
 - GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
 - ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
 - REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
 - INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)



LANDMARK PROPERTIES

HERON CROSSING - PHASE 1 BLK 1, LOT 10



- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

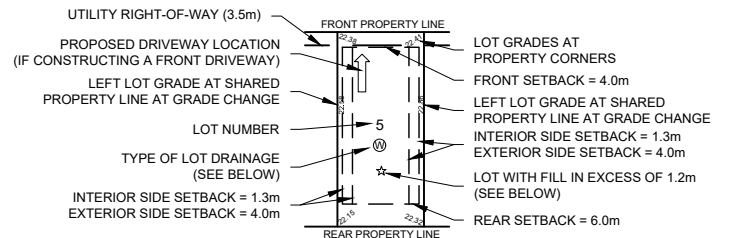
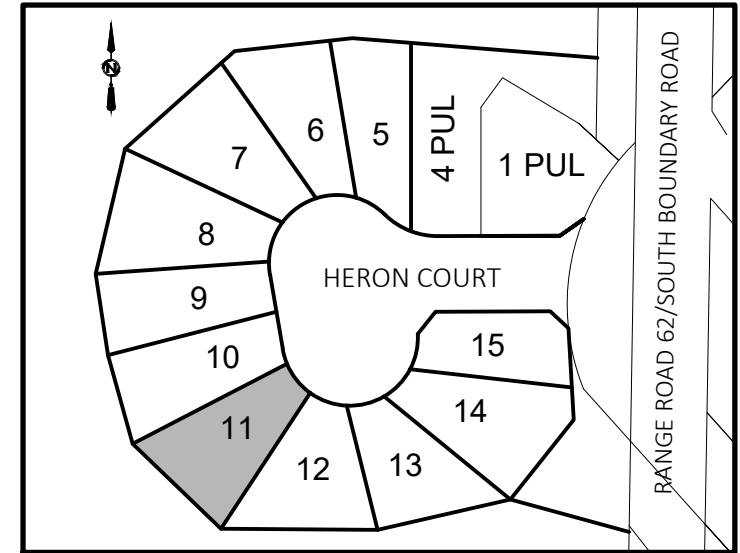
* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

— P — POWER UTILITY
— G — GAS UTILITY



LANDMARK PROPERTIES

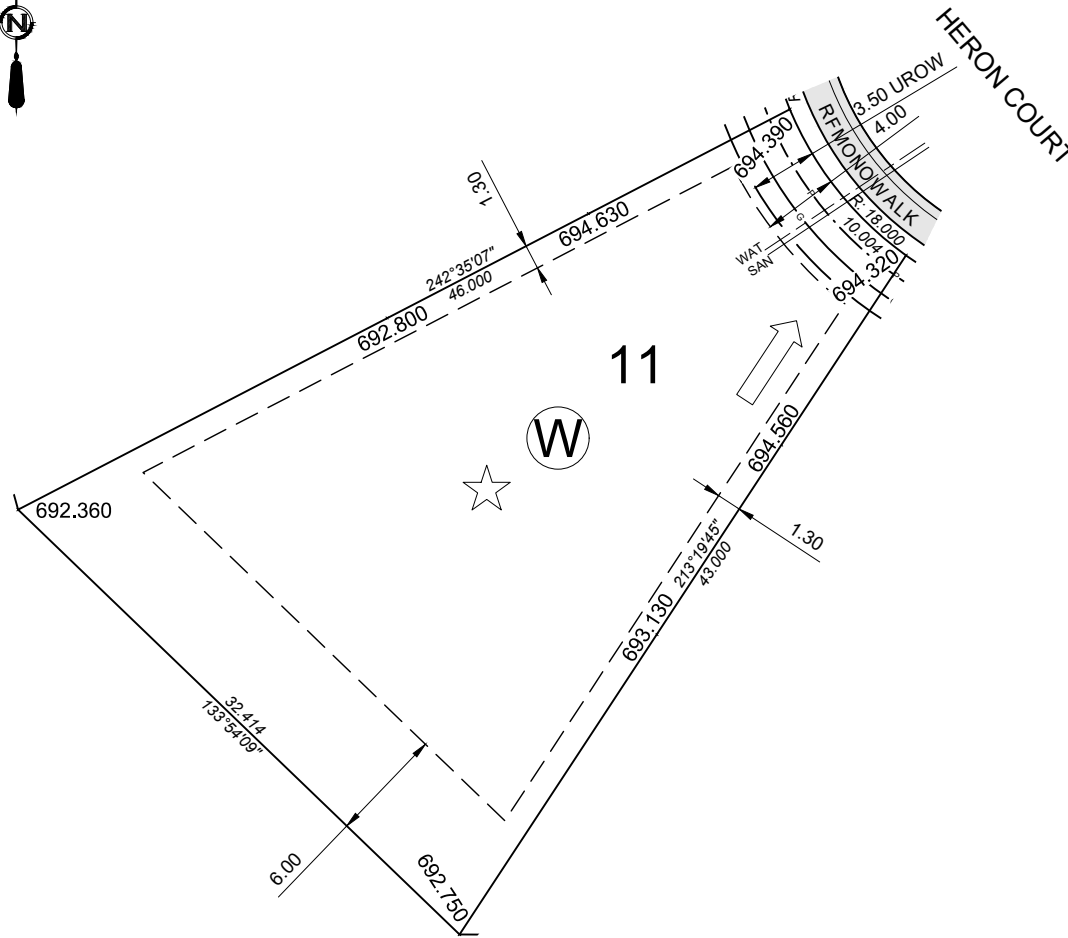
HERON CROSSING - PHASE 1 BLK 1, LOT 11



- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

★ LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

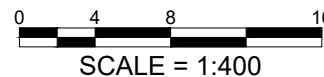
— P — POWER UTILITY
— G — GAS UTILITY

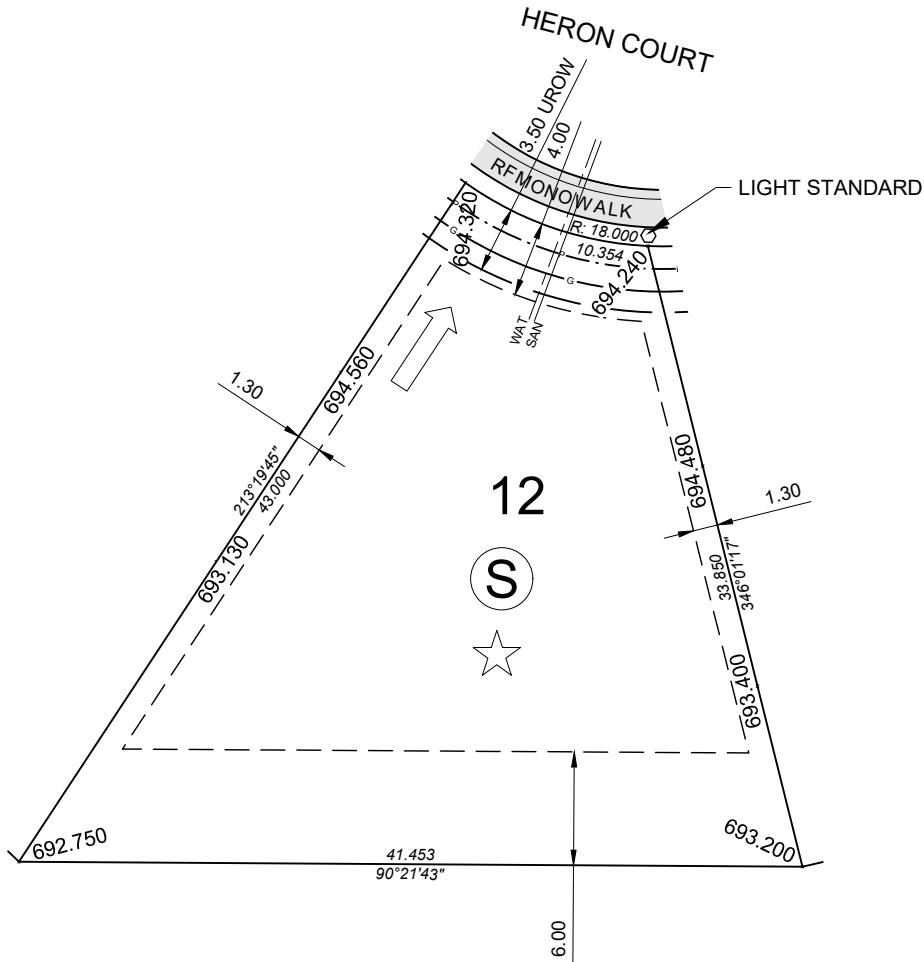


Lot 11	
LTF = 692.06	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 690.98*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.24	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 691.74	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.09	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
- PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
- ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
- GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
- ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
- REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
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- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)

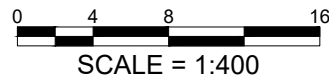




Lot 12	
LTF = 691.98	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.06*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.74	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = 692.24	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 692.59	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

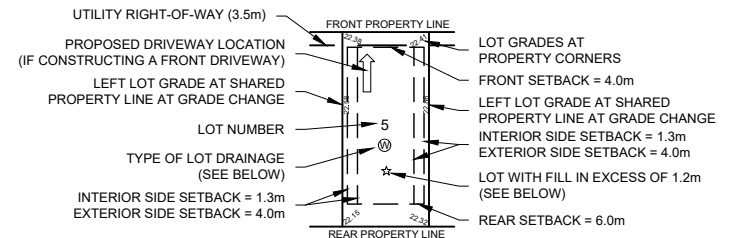
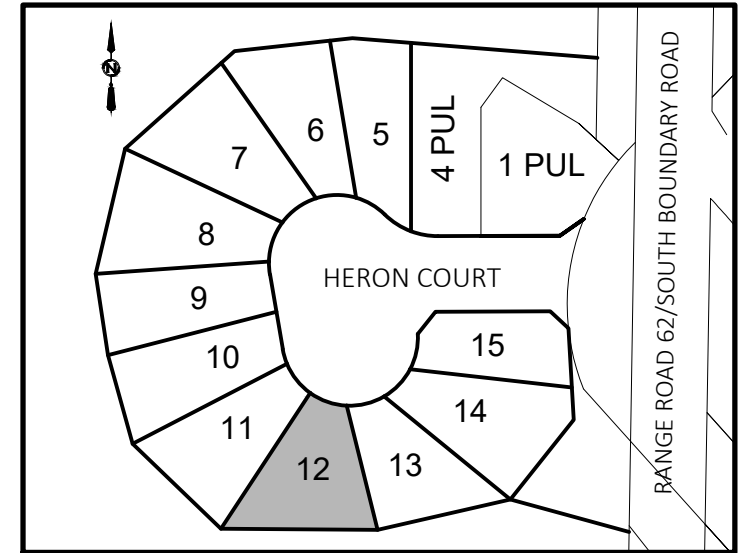
NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
- PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
- ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
- GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
- ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
- REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
- INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)



LANDMARK PROPERTIES

HERON CROSSING - PHASE 1 BLK 1, LOT 12



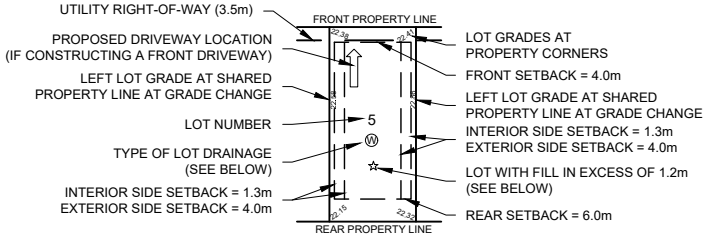
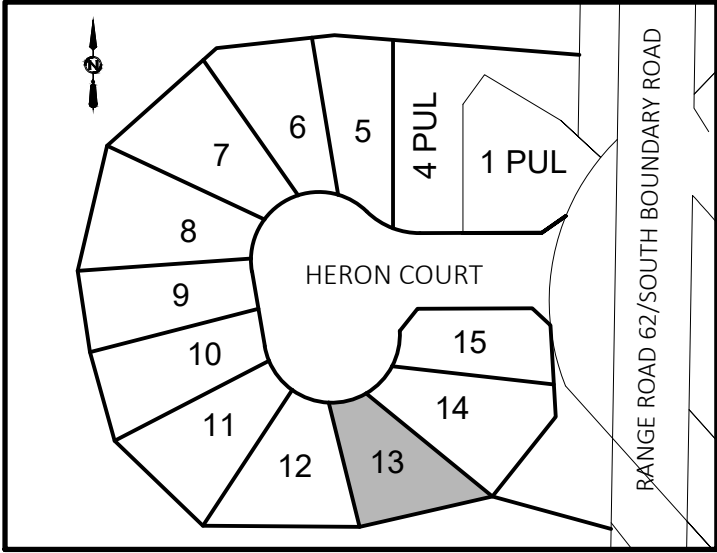
- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

— P — POWER UTILITY
— G — GAS UTILITY

LANDMARK PROPERTIES

HERON CROSSING - PHASE 1 BLK 1, LOT 13

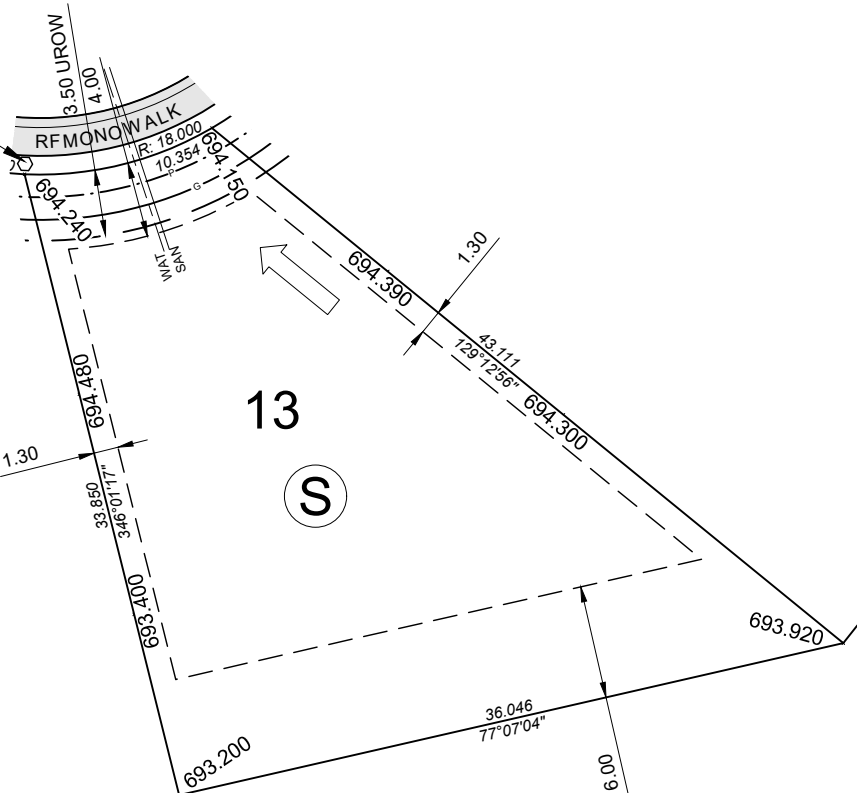


- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
 - Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
 - Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
 - Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
 - Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
 - ★ LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE
- - P - - POWER UTILITY
 - - G - - GAS UTILITY



HERON COURT

LIGHT STANDARD

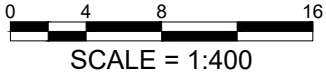


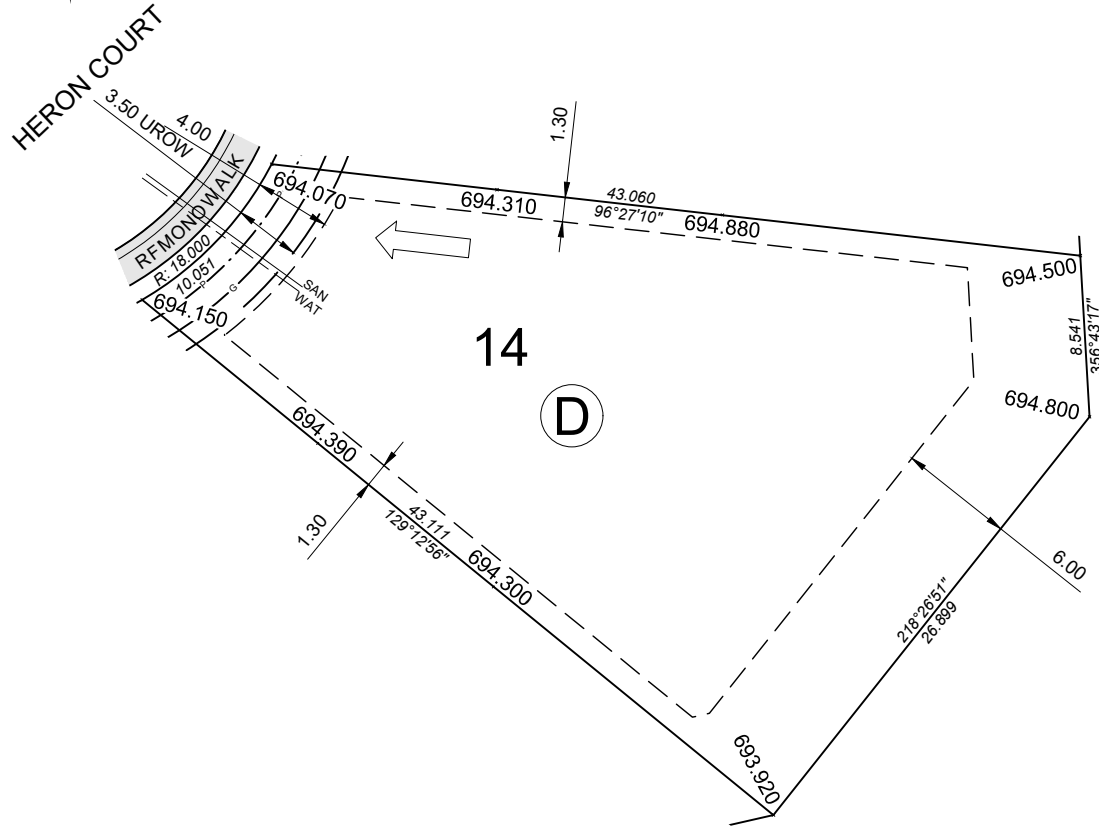
13

S

Lot 13	
LTF = 691.90	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.09*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = 692.16	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = N/A	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 694.35	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

- NOTES:
- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
 - PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
 - ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
 - GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
 - ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
 - REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
 - INFORMATION BASED ON SUBDIVISION DESIGN PROVIDED BY SCHEFFER ANDREW LTD.
 - * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)

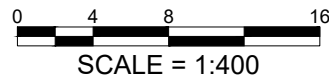




Lot 14	
LTF = 691.81*	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 691.06*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = N/A	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = N/A	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 694.26	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

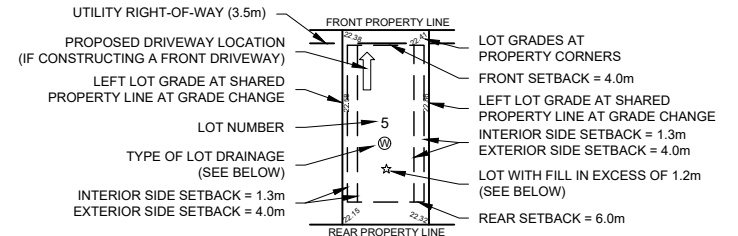
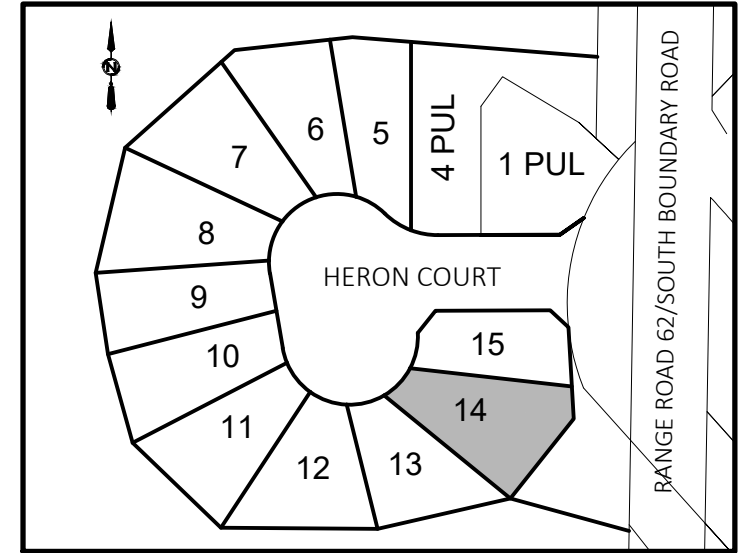
NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
 - PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
 - ELECTRIC SERVICE IS LOCATED 1.2m INTO PROPERTY FROM FRONT PROPERTY LINE.
 - GAS SERVICE IS LOCATED 2.4m INTO PROPERTY FROM PROPERTY LINE
 - ALL FOUNDATION CONCRETE IS TO BE TYPE 50 (SULPHATE RESISTANT) CEMENT WITH A 56-DAY COMPRESSIVE STRENGTH OF 32 MPa AND WITH A MINIMUM WATER TO CEMENTING MATERIAL RATIO OF 0.45. THE ADDITION OF +5% AIR ENTRAINMENT IS ALSO RECOMMENDED FOR CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS.
 - REFER TO REGISTERED LEGAL PLAN FOR LEGAL DIMENSIONS, BEARINGS AND PIN LOCATIONS
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- * - DENOTES CORRECTED ELEVATION (SEPT 27, 2019)



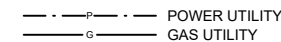
LANDMARK PROPERTIES

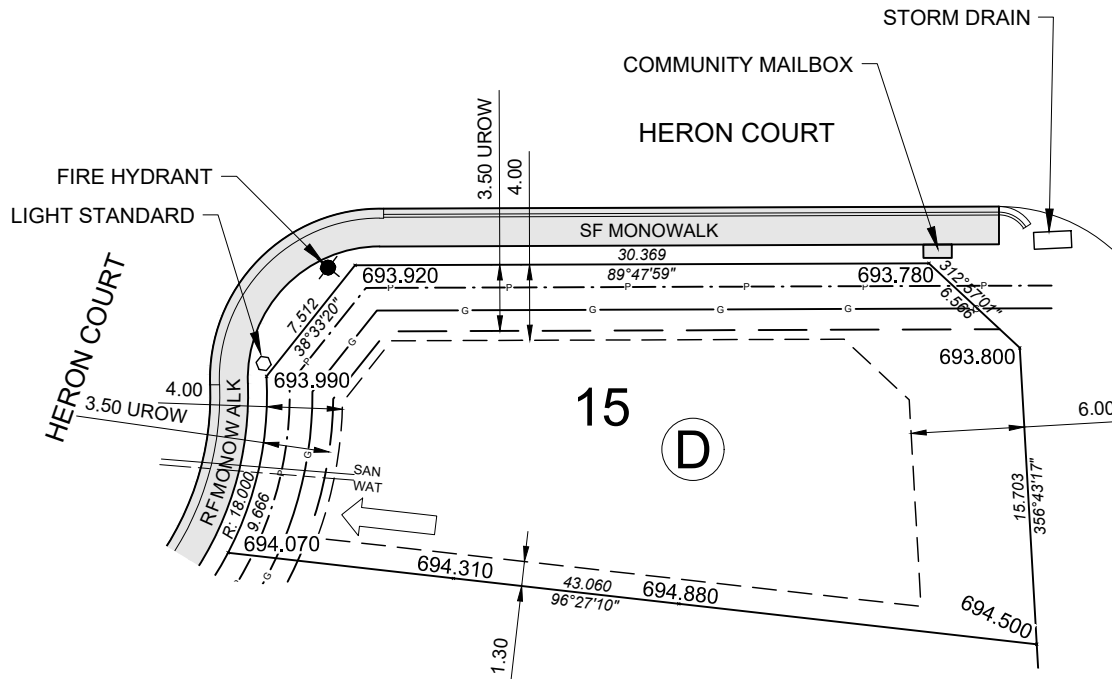
HERON CROSSING - PHASE 1 BLK 1, LOT 14



- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

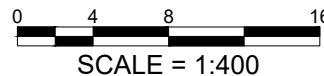




Lot 15	
LTF = 691.69	LOWEST TOP OF FOOTING ELEVATION (TYP 0.70m ABOVE SAN @ P/L)
SAN = 690.77*	SANITARY SEWER INVERT ELEVATION AT PROPERTY LINE
TF-BC = N/A	TOP OF FOOTING ELEVATION ABOVE WHICH A BEARING CERTIFICATE IS REQUIRED
TF-DF = N/A	TOP OF FOOTING ELEVATION ABOVE WHICH A DEEP FILL FOUNDATION IS REQUIRED
MBOE = 693.43	MINIMUM BUILDING OPENING ELEVATION (0.30m ABOVE HIGH WATER LEVEL)

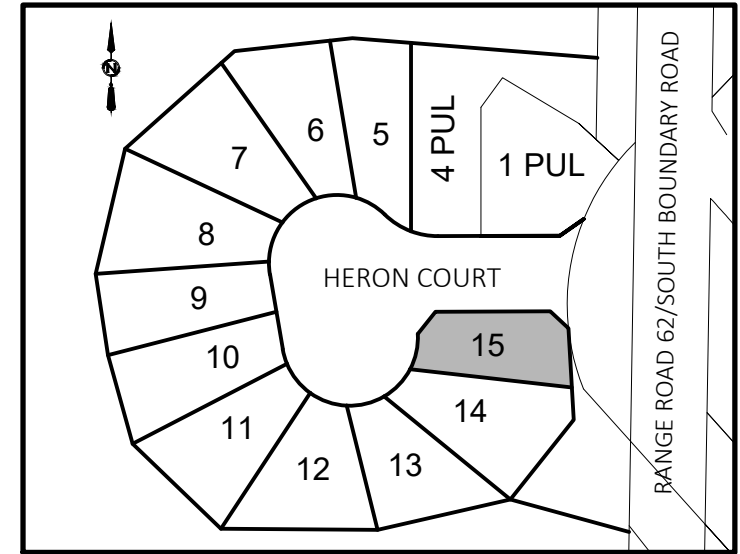
NOTES:

- CURB STOP LOCATION IS APPROX. 0.30m FROM FRONT OF PROPERTY LINE INTO THE ROAD ROW
- PIGTAIL LOCATION FOR LOT SERVICES ARE APPROX. 5.0m FROM CURB STOP INTO THE LOT
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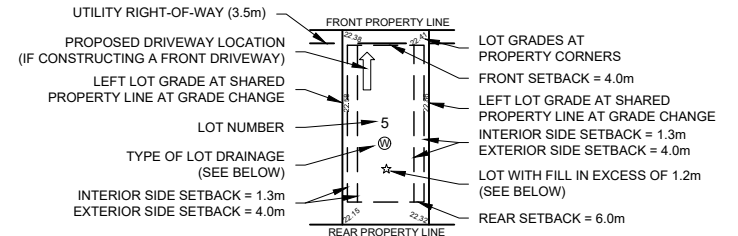


LANDMARK PROPERTIES

HERON CROSSING - PHASE 1 BLK 1, LOT 15



RANGE ROAD 62 / SOUTH BOUNDARY ROAD



- Ⓐ LOT GRADING TYPE A
BACK TO FRONT DRAINAGE 2-3% OVERALL SLOPE
- Ⓑ LOT GRADING TYPE B
BACK TO FRONT DRAINAGE 3-6% OVERALL SLOPE
- Ⓓ LOT GRADING TYPE D
STANDARD SPLIT DRAINAGE
- Ⓔ LOT GRADING TYPE S
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)
- Ⓜ LOT GRADING TYPE W
SPLIT DRAINAGE, POSSIBLE WALKOUT BASEMENT
(CAREFUL GRADING REQUIRED)

* LOTS WITH FILL IN EXCESS OF 1.2m: ANY LOT THAT HAS ANY PART OR PORTION OF ITS FOUNDATION ON FILL WILL REQUIRE A BEARING CERTIFICATE

